

Telephone: 023 9247 4174
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PLANNING COMMITTEE AGENDA

Membership: Councillor Guest (Chairman)

Councillors Keast, Lowe, Patel, Pike, Robinson and Mrs Shimbart (Vice-Chairman)

Standing Deputies: Councillor Prad Bains and Councillor Yvonne Weeks

Meeting: Planning Committee

Date: 29 April 2021

Time: 5.00 pm

Venue: Skype for Business - Skype for Business

The business to be transacted is set out below:

Gill Kneller
Chief Executive

20 April 2021

Contact Officer: Mark Gregory 023 9244 6232
Email: mark.gregory@havant.gov.uk

Can Councillors Please Submit Any Detailed Technical Questions On The Items Included In This Agenda To The Contact Officer At Least 4 Hours Before The Meeting Starts.

Page

PART 1 (Items open for public attendance)

1 Apologies

To receive apologies for absence.

2 Declarations of Interests

To receive declarations of interests.

3 Minutes of the Site Viewing Working Party To Follow

To receive the minutes of the Site Viewing Working Party held on 22 April 2021.

4 Applications for Development 1 - 4

4a APP/20/00376 - Fowley Cottage, 46 Warblington Road, Emsworth To Follow

Proposal: Nine new dwellings on the site surrounding the retained Fowley Cottage, 2 on the Warblington Road frontage and 7 in the rear garden area.

[Additional Information](#)

4b APP/20/00699 - 2 Eastoke Avenue, Hayling Island 5 - 28

Proposal: Single storey extension (south); first floor (north) extension; render and cladding; attached garage and new access on Southwood Road.

[Additional Information](#)

4c APP/20/01019 - Hooks Lane Ground Clubhouse, Fraser Road, Havant 29 - 52

Proposal: Conversion of existing Multi-games play area (MUGA) into a car park, by way of, creating a connection through the existing car park serving the rugby club, associated footpath and relocation of an existing light/column.

[Additional Information](#)

GENERAL INFORMATION

IF YOU WOULD LIKE A VERSION OF THIS AGENDA IN LARGE PRINT, BRAILLE, AUDIO OR IN ANOTHER LANGUAGE PLEASE CONTACT DEMOCRATIC SERVICES ON 023 92 446 231

Internet

This agenda and its accompanying reports can also be found on the Havant Borough Council website: www.havant.gov.uk. Would you please note that committee reports are subject to changes and you are recommended to regularly check the website and to contact *Mark Gregory (tel no: 023 9244 6232)* on the afternoon prior to the meeting for details of any amendments issued.

Public Attendance and Participation

The meeting will be streamed live online to enable members of the public to watch in real time. The meeting will also be recorded and the recording will be published on the council's website.

IP addresses will not be collected, however in order to function, Skype for Business collects background data limited to when a user enters and leaves the meeting and the web browser version used. Data collected will be kept and recorded for the purposes of this meeting.

Members of the public, County Councillors, and Non-Members of the Development Management Committee may submit a written deputation to meetings of the Development Management Committee provided that it relates to an item on the Agenda for a particular meeting.

If there has been a deputation within six months of any previous appearance on the same or similar topic (irrespective of whether or not the member(s) of the deputation might be different) then no such new deputation will be received until that time limit has expired. However, "same or similar topic" does not apply to applications for planning permission considered by the Development Management Committee.

A copy of a deputation must be received by the Democratic Services Team not later than 48 hours before the start of the meeting (other than when the meeting is on a Monday, when notice has to be in by the previous Wednesday). Written deputations may be sent by email to the address set out below.

A deputation from a member of the public, agent or a County Councillor may be no longer than 750 words (including footnotes). A deputation from a Havant Borough Councillor, who is not a member of the meeting, shall be no longer than 1,500 words (including footnotes). A deputation may not contain images or photographs.

All written deputations will be published on the Council's website at least 24 hours before the start of the meeting. There will be no opportunity to respond to a written deputation after it has been published, unless the response is to

correct a technical error and is received 4 hours before the start of the meeting.

Written Deputations may be sent to:

By Email to: DemocraticServices@havant.gov.uk

By Post to :

Democratic Services Officer
Havant Borough Council
Public Service Plaza
Civic Centre Road
Havant, Hants P09 2AX

Delivered at:

Havant Borough Council
Public Service Plaza
Civic Centre Road
Havant, Hants P09 2AX

marked for the Attention of the "Democratic Services Team"

Who To Contact If You Wish To Know The Outcome Of A Decision

If you wish to know the outcome of a particular item please contact the Contact Officer (contact details are on page i of the agenda)



Havant

BOROUGH COUNCIL

PROTOCOL AT MEETINGS – RULES OF DEBATE

Meeting Protocol

- Microphones will be muted centrally unless it is a councillor/officers turn to speak. When unmuted centrally please note that a councillor/officer will also need to press the unmute button before speaking!
- Whilst being held remotely, the meeting remains a formal meeting of the council with the same rules of conduct. There is the potential for greater audience numbers due to people being able to watch from their own homes. The meeting will also be recorded and the recording publicly available.
- There is a viewing pane showing all participants on the left-hand side (clicking the icon depicting three people in the top left of the screen will open). This lists the attendees (committee members) in alphabetical order, which is useful to ascertain when you will have an opportunity to speak.

The Chairman will read out a detailed introduction to outline how the meeting will run.

Apologies for Absence

Will be read by the Democratic Services Officer.

Confirmation of Attendance/ Declarations of Interest/ Supplementary Matters

For expediency, the Chairman will ask each councillor in turn to confirm the above. Attendees will be able to mute and unmute their own microphones.

Confirmation of Minutes

The Chairman will ask each councillor in turn whether they have any amendments to the previous minutes. Either reply 'No amendments Chairman', or yes and clearly state the amendment.

The Chairman will ask for a proposer, at this point all microphones will be unmuted. The first councillor to speak, stating only their name 'Cllr X' will be taken as the proposer. The process will be repeated for the seconder.

Voting

When voting, the Chairman will ask each Councillor in turn, alphabetically, to state either 'FOR, AGAINST or ABSTAIN'. The Democratic Services Officer will confirm the voting numbers, following which the Chairman will declare the result of the vote.

HAVANT BOROUGH COUNCIL

Planning Committee

APPLICATIONS FOR DEVELOPMENT AND OTHER DEVELOPMENT CONTROL MATTERS REPORT BY THE DIRECTOR FOR REGENERATION & PLACE

Applications to be determined by the Council as the Local Planning Authority

Members are advised that all planning applications have been publicised in accordance with the Code of Practice for Publicity of Planning Applications approved at Minute 207/25/6/92, and have been referred to the Development Management Committee in accordance with the Delegation Procedure for Determining Planning Applications 'Red Card System' approved at minutes 86(1)/4/97 and 19/12/97.

All views of consultees, amenity bodies and local residents will be summarised in the relevant report only if received prior to the report being prepared, **otherwise** only those views contrary to the recommendation of the Head of Planning will be reported **verbally** at the meeting of the Development Management Committee.

Members are reminded that all letters received are placed upon the application file and are available for Development Management Committee Members to read on request. Where a member has concerns on such matters, they should speak directly to the officer dealing with the planning application or other development control matter, and if appropriate make the time available to inspect the file and the correspondence thereon prior to the meeting of the Development Management Committee.

The coded conditions and reasons for refusal included in the recommendations are set out in full in the Council's Manual of Model Conditions and Reasons for Refusal. The standard conditions may be modified to meet the specific circumstances of each individual application. Members are advised to bring their copies to the meeting of the Development Management Committee.

In reaching decisions on the applications for development and other development control matters regard should be paid to the approved development plan, all other material considerations, the views of consultees, the recommendations of the Head of Planning, and where applicable the views of the Site Viewing Working Party.

The following abbreviations are frequently used in the officers' reports:

HPS	Head of Planning Services
HCSPR	Hampshire County Structure Plan - Review
HBLP	Havant Borough Local Plan (comprising the adopted Core Strategy 2011 and saved policies from the District Wide Local Plan 2005. A related emerging document is the Draft Allocations Plan 2012)
HWLP	Hampshire, Portsmouth & Southampton Minerals & Waste Local Plan
NPPF	National Planning Policy Framework 2012
HBCCAR	Havant Borough Council Conservation Area Review
AONB	Area of Outstanding Natural Beauty
CA	Conservation Area
LB	Listed Building included in the list of Buildings of Architectural or Historic Interest
SAC	Special Area of Conservation
SINC	Site of Importance for Nature Conservation
SPA	Site identified as a Special Protection Area for the protection of birds under the Ramsar Convention
SSSI	Site of Special Scientific Interest
FP	Definitive Footpath
POS	Public Open Space
TPO	Tree Preservation Order
HBC	Havant Borough Council
GPDO	Town & Country Planning (General Permitted Development) Order
DMPO	Town & Country Planning (Development Management Procedure)(England) Order 2010 amended
UCO	Town & Country Planning (Use Classes) Order
S106	Section 106 Agreement
Ha.	Hectare(s)
m.	Metre(s)

RECOMMENDATIONS

To reach decisions on the applications for development and other matters having regard to the approved development plan, all other material considerations, the views of consultees, the recommendations of the Head of Planning, and where applicable the views of the Site Viewing Working Party.

Implications

Resources:

None unless detailed in attached report.

Legal:

Details set in the individual reports

Strategy:

The efficient determination of applications and making of other decisions under the Town & Country Planning Acts in an open manner, consistent with the Council's planning policies, Regional Guidance and Central Government Advice and Regulations seeks to ensure the appropriate use of land in the public interest by the protection and enhancement of the natural and historic environment; the promotion of the economy; the re-use of existing buildings and redevelopment of 'brownfield' sites; and the promotion of higher densities and good quality design in all new development all of which matters assist in promoting the aims of the Council's Community Strategy.

Risks:

Details set out in the individual reports

Communications:

Details set out in the individual reports

Background Papers:

Individual Applications with Case Officers

Simon Jenkins
Director for Regeneration & Place

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Southwood Road have a staggered building line.

2 Relevant Planning History

99/51741/005 - Conservatory to south elevation – Permitted 14/01/2000

APP/15/00010 - Application for Lawful Development Certificate relating to occupation of 2A Eastoke Avenue as a separate dwelling unit. Permitted 02/04/2015

APP/15/00066 - Temporary storage container. Refused 29/04/2015

APP/15/00412 - First floor extensions, increase in roof height, extension to garage at No. 2A, replacement garage for conservatory at No. 2 with terrace above, new entrance and new vehicular access to Southwood Road. Refused 11/06/2015 for the following reasons:

1 The proposed development would be contrary to policy CS16 (c) of the Havant Borough Local Plan (Core Strategy) March 2011 and the Havant Borough Council Borough Design Guide Supplementary Planning Document December 2011 for the following reasons:

(a) The proposed development by reason of its plot coverage, size and scale would result in a cramped and over-intensive development that would be out of keeping with, and detrimental to, the character and visual amenities of the area;

(b) The proposed development by reason of the inclusion of multiple roof elements of varying designs and heights together with the manner in which the materials are utilised would result in an incongruous building in a prominent location within the street scene to the detriment of the visual amenities and character of the immediate area; and

(c) The proposed development would constitute an undesirable over-intensive use of the site which would provide unsatisfactory living conditions, by reason of inadequate amenity space, for unit 2A.

2 The proposed development would be contrary to policy CS16 (e) of the Havant Borough Local Plan (Core Strategy) March 2011 and the Havant Borough Council Borough Design Guide Supplementary Planning Document December 2011 in that the development would by reason of increased height and depth to the northern side of the property, together with the fenestration proposed, result in an overpowering presence and overlooking of the occupiers of the adjacent residential property to the detriment of their amenities.

A subsequent appeal against the refusal of planning permission was dismissed on 01/02/16.

APP/20/00110 - Application for a certificate of lawfulness for proposed erection of a porch and an outbuilding. Permitted 25/03/2020.

3 Proposal

Single storey extension (south); first floor (north) extension; render and cladding; attached garage and new access on Southwood Road.

4 Policy Considerations

National Planning Policy Framework

Havant Borough Council Borough Design Guide SPD December 2011

Havant Borough Council Parking SPD July 2016

Havant Borough Local Plan (Core Strategy) March 2011

CS16	(High Quality Design)
CS17	(Concentration and Distribution of Development within the Urban Areas)
CS20	(Transport and Access Strategy)
DM13	(Car and Cycle Parking on Residential Development)

Havant Borough Local Plan (Allocations) July 2014

AL2	(Urban Area Boundaries and Undeveloped Gaps between Settlements)
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Listed Building Grade: Not applicable.

Conservation Area: Not applicable.

5 Statutory and Non Statutory Consultations

Councillor Leah Turner - Hayling East

My opinion is that this is proposed overdevelopment of a small piece of land. Lack of parking spaces being another consideration. In a road full of single storey houses I also think that this will not fit in with the street scene.

I am quite surprised that Highways have not expressed a problem with cars reversing onto a main road from this property, which is another issue I will be raising.

Councillor M Wilson - Hayling West Ward

Agreed with Cllr Turner and Red Carded the application.

Councillor R Raines - Hayling East

No Comment.

Hampshire Highways

Final comments:

The applicant has provided a drawing titled 'Proposed new access' in response to the Highway Authority's previous response which requested the visibility splays to be annotated on the drawing.

Visibility splays have now been shown to be 53m northbound and 46m southbound which are greater than the splays required for the noted 30mph speed limit for Southwood Road. As noted in the Highway Authority's previous response, there is an existing lamp column which may need to be relocated as part of the access works. This can be arranged when obtaining a Section 184 licence.

Based on the updated information provided by the applicant, the Highway Authority raises no objection to the proposed development.

6 Community Involvement

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 9

Number of site notices: Not applicable.

Statutory advertisement: Not applicable.

Number of representations received: 3

Comment	Officer Comment
<p>The plans provided are of poor quality.</p> <p>The garage approved under APP/20/00110 has been built differently from the approved plans now being attached to the property. There is also a concern it would not be used as a garage and would be used for a utility room. There is the possibility of building above the garage which would negatively impact our property. Garage is out of keeping and damages the street scene. Poor design being flat roof, should be pitched.</p> <p>First floor extension on the north elevation - if windows are placed on the east elevation this would cause harmful overlooking and reduce natural light to the property. Revised pitched roof on first floor extension - more impact on the loss of light and appear more dominant.</p> <p>Works are not subservient to the existing dwellinghouse.</p> <p>Extension to the front would reduce the garden space.</p> <p>Works would dominate and dwarf the properties in the area - all single storey buildings. - have a detrimental impact on the surrounding area and out of keeping</p> <p>Contrary to design guides - including massing, building line, architectural detail, daylight considerations,</p> <p>Contrary to policy CS16 and National Planning Policy Framework.</p>	<p>The plans provided are considered to be drawn accurately and to scale and are therefore satisfactory for planning application purposes.</p> <p>Please see Section 7 for an analysis of the impact of the garage.</p> <p>Please see Section 7 for an analysis of the impact of the development on neighbouring properties.</p> <p>Please see Section 7 for an analysis of the impact of the development on the character of the area and relevant policy considerations.</p>

Highway safety concern with access.	Please see Section 7 for an analysis of the impact of the development in access/parking terms – the Highways Authority has not objected to the proposals.
Intention to develop something similar to the previous refusal.	By virtue of its differing scale and design, this application is considered to be materially different to the previous application (APP/15/00412).
Projects beyond the building line.	It is considered that there is no clear building line along Southwood Road which is staggered.
No justification on how the development avoids impact on local amenity and local living conditions.	This has been assessed in Section 7 of this report.

7 **Planning Considerations**

7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Appropriateness of design and impact on the character of the area
- (iii) Effect on neighbouring properties
- (iv) Access and Parking
- (v) CIL

(i) Principle of development

7.2 The application site is located within the defined residential area, with various designs and types of individual dwellings evident in the street scene such as two storey houses, chalet bungalows and bungalows. In such a location residential extensions are considered acceptable in principle subject to development management criteria.

7.3 In terms of the relevant planning history of the site, under reference APP/20/00110 the property was granted a certificate of lawfulness for a proposed erection of a porch and a garage on the west side. The nature of the garage which has been built has been raised by objectors to the proposal and is discussed further below.

7.4 Under reference APP/15/00412 No.2 and 2A Eastoke Avenue applied for first floor extensions, increase in roof height, extension to garage at No. 2A, replacement garage for conservatory at No. 2 with terrace above, new entrance and new vehicular access to Southwood Road. This was refused by the Local Planning Authority on 11/06/2015 for the following reasons:

1 The proposed development would be contrary to policy CS16 (c) of the Havant Borough Local Plan (Core Strategy) March 2011 and the Havant Borough Council Borough Design Guide Supplementary Planning Document December 2011 for the following reasons:

(a) The proposed development by reason of its plot coverage, size and scale would result in a cramped and over- intensive development that would be out of keeping with,

and detrimental to, the character and visual amenities of the area;

(b) The proposed development by reason of the inclusion of multiple roof elements of varying designs and heights together with the manner in which the materials are utilised would result in an incongruous building in a prominent location within the street scene to the detriment of the visual amenities and character of the immediate area;
and

(c) The proposed development would constitute an undesirable over-intensive use of the site which would provide unsatisfactory living conditions, by reason of inadequate amenity space, for unit 2A.

2 The proposed development would be contrary to policy CS16 (e) of the Havant Borough Local Plan (Core Strategy) March 2011 and the Havant Borough Council Borough Design Guide Supplementary Planning Document December 2011 in that the development would by reason of increased height and depth to the northern side of the property, together with the fenestration proposed, result in an overpowering presence and overlooking of the occupiers of the adjacent residential property to the detriment of their amenities.

7.5 An appeal was lodged against the refusal and was dismissed on 01/02/2016 due to the adverse impact the proposed development would have on the character and appearance of the area; on the living conditions of No. 2A Eastoke Avenue; and on the living conditions of neighbouring occupiers at No. 81 Southwood Road arising from the loss of outlook both to the front and rear of the property.

7.6 This application seeks to address the planning reasons for the dismissal of the appeal. The proposal only relates to works to No.2 Eastoke Avenue not No.2A Eastoke Avenue as per the appeal proposal.

(ii) Appropriateness of design and impact on the character of the area

7.7 The proposed development would involve a single storey front extension (south); first floor rear (north) extension; render and cladding; and attached garage (already built) to the west and new access on Southwood Road.

7.8 Originally the proposal incorporated a two storey extension to the south elevation, which would replace the existing conservatory. However, following discussions amended plans were submitted which has reduced this part of the proposal to a single storey, which would be in more in keeping with the character of the area, whilst removing any significant impact upon No.81 Southwood Road. The single storey south extension would be of a similar size to the conservatory it would replace – currently the conservatory has a width of approximately 3.4 metres, a depth of approximately 4.1 metres and a pitched roof with a maximum height of approximately 2.8 metres. By comparison the extension would have a width of approximately 4.4 metres, a depth of approximately 4.4 metres with a flat roof having a rooflight with a maximum height of approximately 2.7 metres. It would be used as a study and porch. The proposed design is considered to be contemporary and is deemed acceptable within the context of this residential area.

7.9 There would be a first floor extension on the north side which would provide a bedroom and en-suite. Originally the proposed first floor extension had a flat roof design, but following an amended plan a pitched hipped roof has now been provided which is more in keeping with the main dwelling, whilst limiting its impact on No.4 Eastoke Avenue as the roof would be hipped away from the property. It would have a width of approximately 4.4 metres, a depth of approximately 5.3 metres with the hipped roof the same height as the existing property.

- 7.10 As mentioned under reference APP/20/00110 the property was granted a certificate of lawfulness for a garage on the west side with a width of approximately 3.6 metres, a depth of approximately 7 metres with a flat roof having a height of approximately 2.5 metres. The garage has not been built in accordance with the plans submitted, which showed it sited approximately 0.5 metres away from the west elevation of the main house. What has been built instead is a garage attached to the main house, of a similar size, with a width of approximately 4 metres, a depth of approximately 7 metres with a flat roof having a maximum height of approximately 2.5 metres.
- 7.11 A detached garage on the west side of the dwelling of similar size and position could be erected under permitted development rights as confirmed by APP/20/00110. The garage erected does not benefit from permitted development rights as it is attached to the dwellinghouse and therefore is subject to planning control – hence it forms part of this planning application. That said, there is a fall back position in that a detached garage could be erected on the west side of the property under permitted development rights, which is a material planning consideration, to which due regard must be given.
- 7.12 In terms of materials, cladding is proposed at first floor level, which would comprise a James Hardie Plank in pearl grey, and the development would have white render on the ground floor level. The use of Redland Duo plain roof tiles or similar in charcoal grey is proposed for the main roof, and Slitech single ply or similar on the flat roof. This contemporary approach is considered to be acceptable within the context of the residential area and the dwelling.
- 7.13 In conclusion, the design and appearance of the proposal is deemed in keeping with the main building and the locality, whilst leaving sufficient space about the dwelling in accordance with the requirements of Policy CS16 of the HBLP (Core Strategy).

(iii) Effect on neighbouring properties

- 7.14 With regard to the proposed front extension this would replace an existing conservatory of a similar size, with a separation distance of approximately 1 metre from No.81 Southwood Road's garage to the east. On the south elevation of the extension there would be a window. This would face out onto the proposed driveway and would not cause any form of overlooking to neighbouring properties. Details provided demonstrate that the extension would not materially overshadow No.81 Southwood Road, nor would this part of proposal be overbearing to the neighbouring property.
- 7.15 On the west side the garage has been erected, attached to the main house. It is not considered that the garage has any direct impact on residential amenity as it lies off the boundary with 2A Eastoke Avenue to the north, and is separated from the property to the west by the carriageway of Eastoke Avenue.
- 7.16 As to the first floor pitched roof extension, this would not materially impact on No. 2a Eastoke Avenue, the adjoining semi-detached bungalow, as this is single storey, with no windows being affected. As to No 4 Eastoke Avenue sited further to the north, this is separated from the extension by No.2A, and there are no windows proposed in the north elevation – consequently it is not considered that this property would be materially affected by the proposal. The first floor extension has no windows on the east elevation, so no overlooking would arise in respect of No. 81 Southwood Road, nor would the proposal be overbearing as it would be set over 5m off the boundary with this property. However, due to concerns of potential overlooking a condition is recommended that no windows be installed on the east side at first floor level without

permission first being obtained from the Local Planning Authority.

7.17 Consequently, it is considered that the proposal will not appear overbearing or lead to overlooking and would have limited and acceptable impact on the surrounding properties to the application site, meeting the requirements of Policy CS16 of the HBLP (Core Strategy).

(iv) Access and Parking

7.18 A new access would be created along Southwood Road with a driveway and fencing. Visibility splays have been shown to be 53m northbound and 46m southbound which are greater than the splays required for the noted 30mph speed limit for Southwood Road. The Highways Authority has been consulted and raises no objection to the proposal. It is recommended a condition be imposed regarding the lines of sight.

7.19 The proposed development would continue to provide 4 bedrooms therefore 3 car parking spaces are required according to the Havant Borough Car Parking Standards SPD. There is sufficient car parking on the proposed driveway (ie 3 spaces) to accord with the Parking Standards. Due to appropriate car parking provided on site, it is not deemed necessary to condition the use of the garage for this purpose only on the west side.

(v) CIL

7.20 The proposed development would be under 100sqm. Therefore, it is not CIL liable.

8 Conclusion

8.1 The scale, siting and design of the proposal would have a limited and acceptable impact on the neighbours and the locality. There are no highway objections to the proposal which is considered to be appropriate and conditional planning permission is recommended.

9 **RECOMMENDATION:**

That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/20/00699:

1 The development must be begun not later than three years beginning with the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan
Proposed Ground Floor Plan
Proposed Site Plan - REV F
Visibility Splays
Proposed Block Plan - REV B
Proposed South Elevation Materials (2)

Proposed South and East Elevations - REV E (1)
Proposed North and West Elevations - REV E (3)
Proposed First Floor Plan - REV B

Reason: - To ensure provision of a satisfactory development.

- 3 No windows shall be installed at first floor level on the east elevation of the extension hereby approved without the prior written approval of the Local Planning Authority.

Reason: In the interests of the amenities of the occupiers of nearby properties and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 4 The external materials used shall be as indicated on the submitted forms and hereby approved plans, or shall match, in type, colour and texture, those of the existing building so far as practicable.

Reason: In the interests of the amenities of the area and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

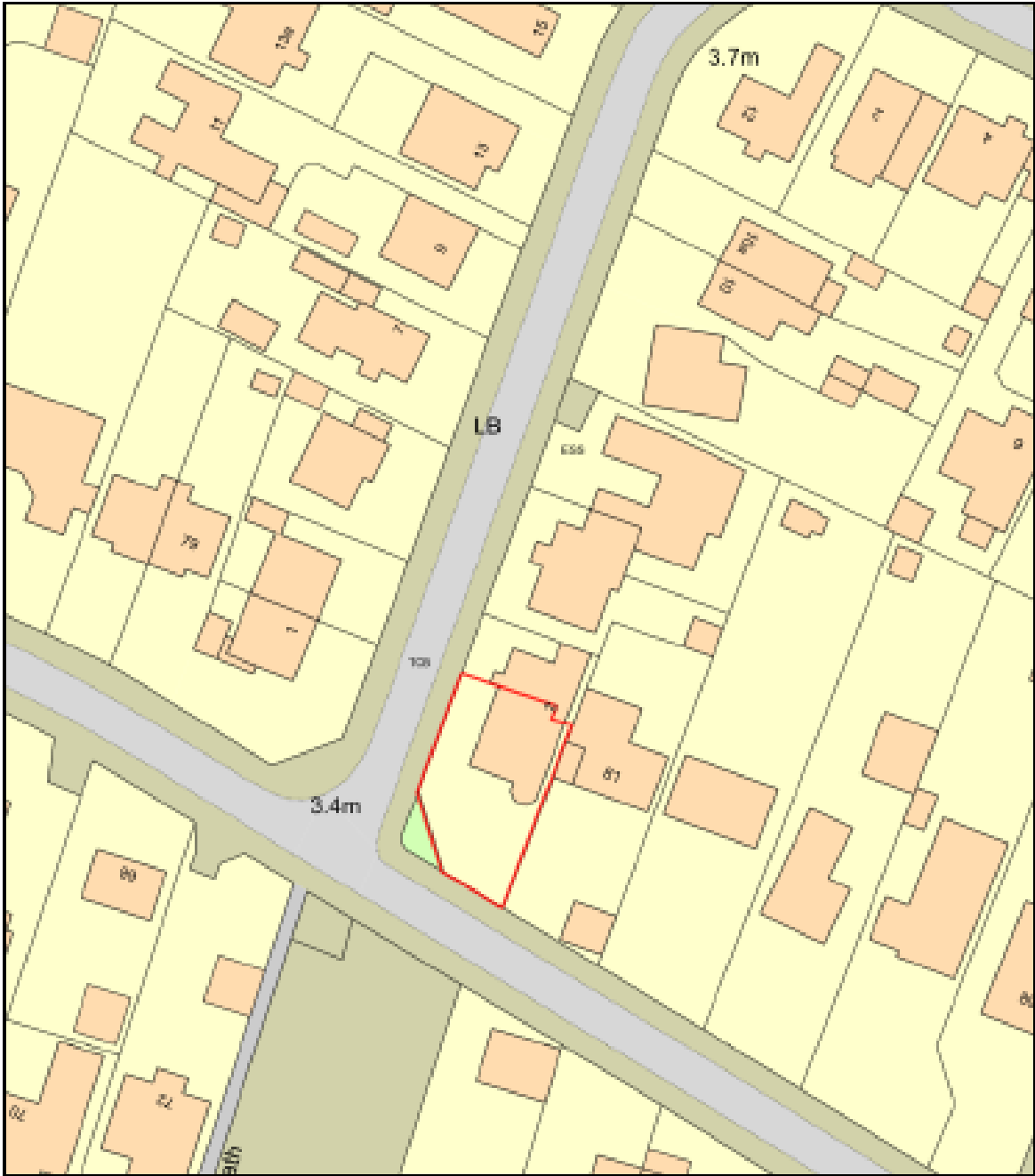
- 5 The new access hereby approved shall not be brought into use until the visibility splays as shown on the approved plan have been provided.

Reason: In the interests of highway safety and having due regard to policies CS16 and CS20 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

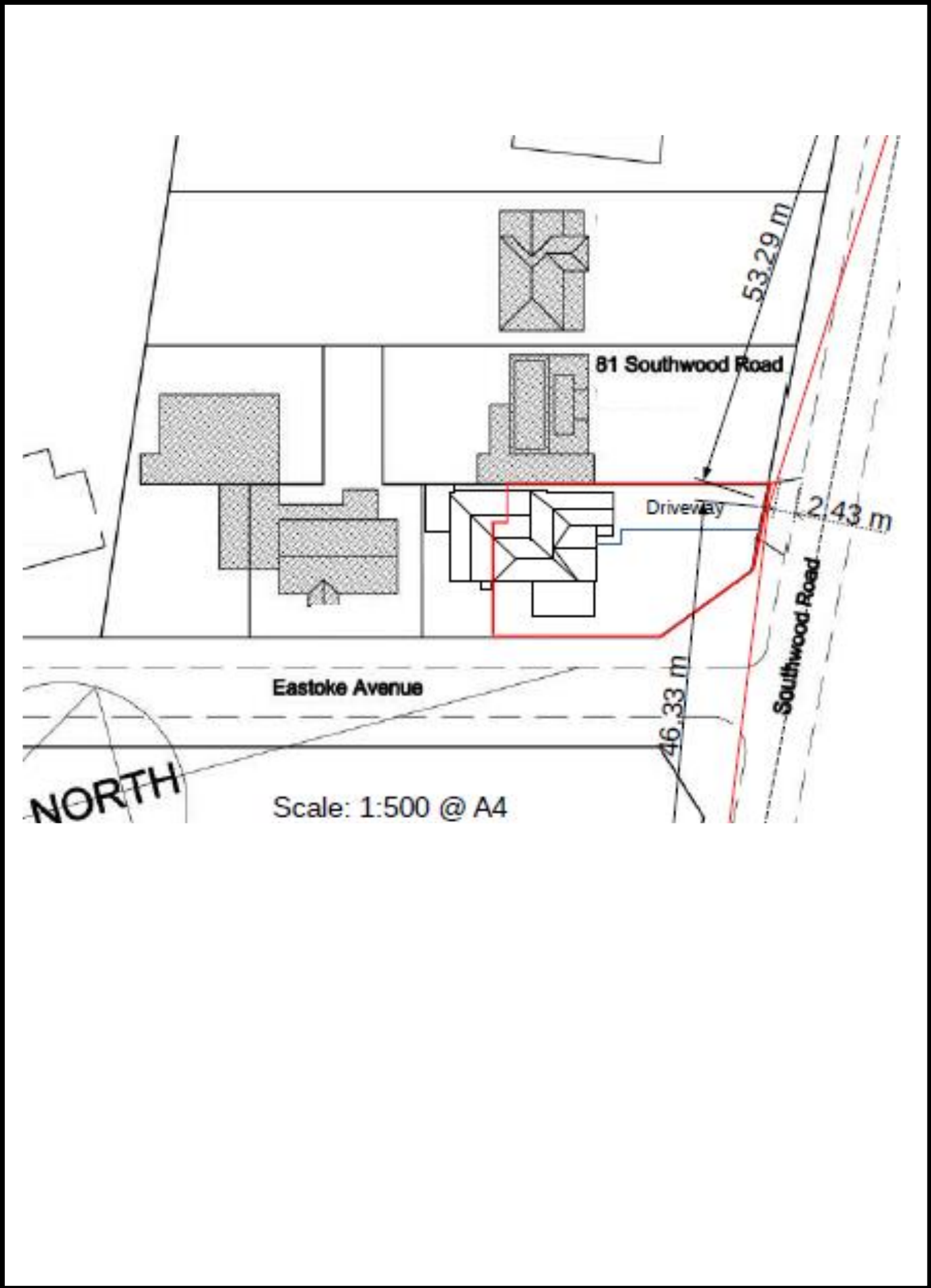
Appendices:

- (A) Location Plan
- (B) Proposed Block Plan
- (C) Existing South and East Elevations
- (D) Proposed South and East Elevations
- (E) Existing North and West Elevations
- (F) Proposed North and West Elevations
- (G) Proposed Site Plan

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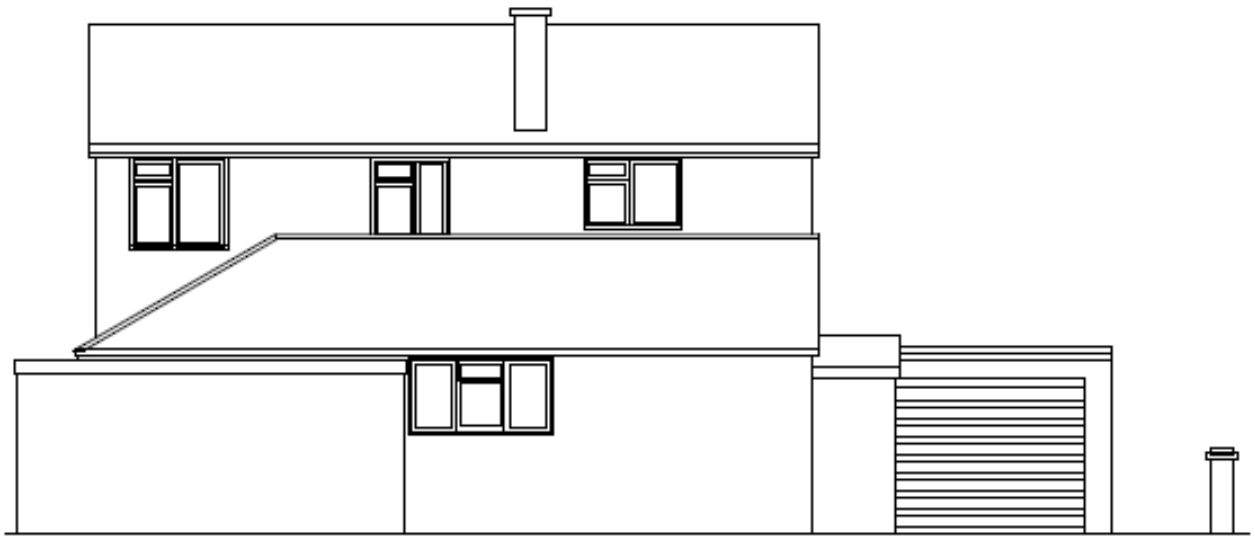
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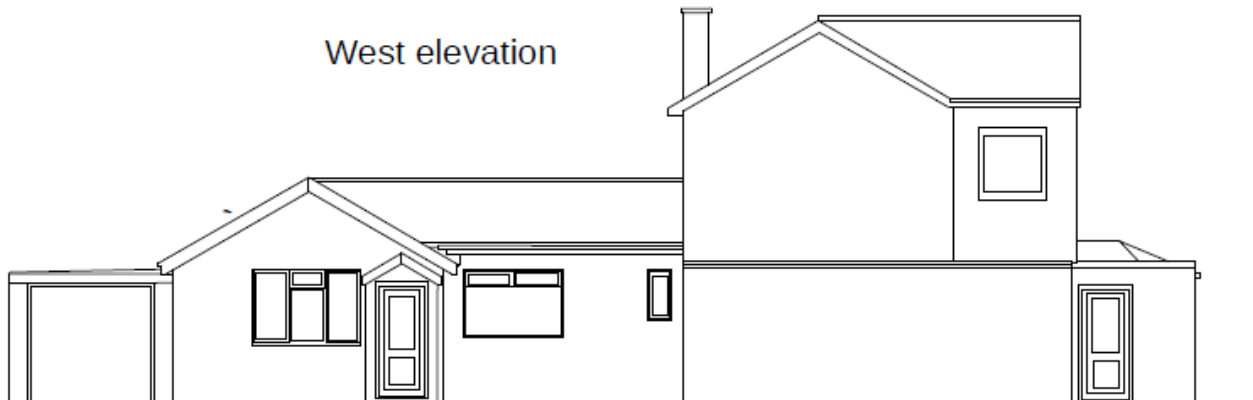
South elevation

East elevation

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North elevation

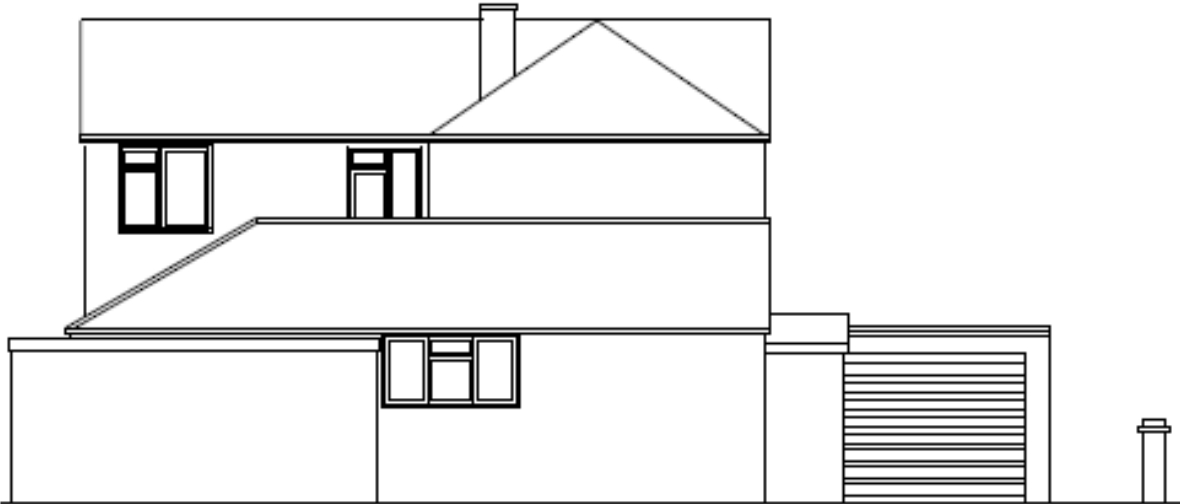


West elevation

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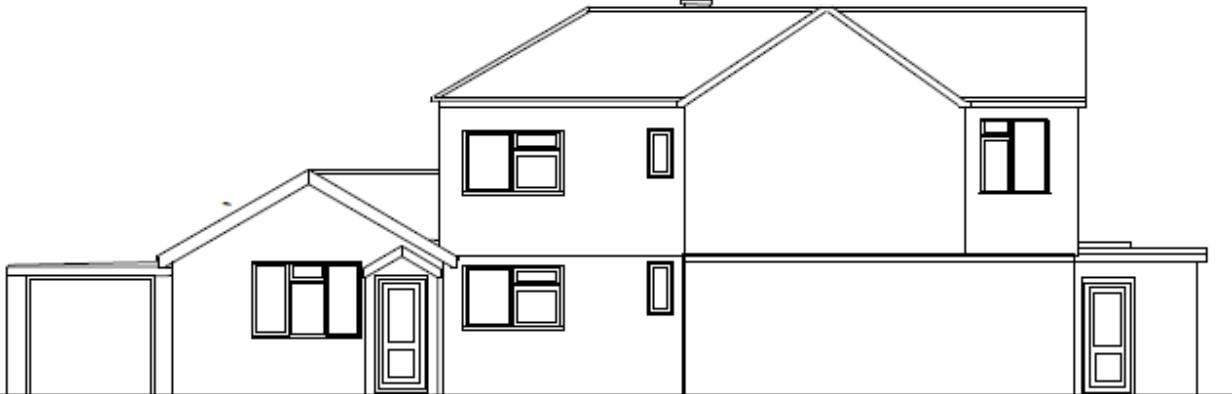


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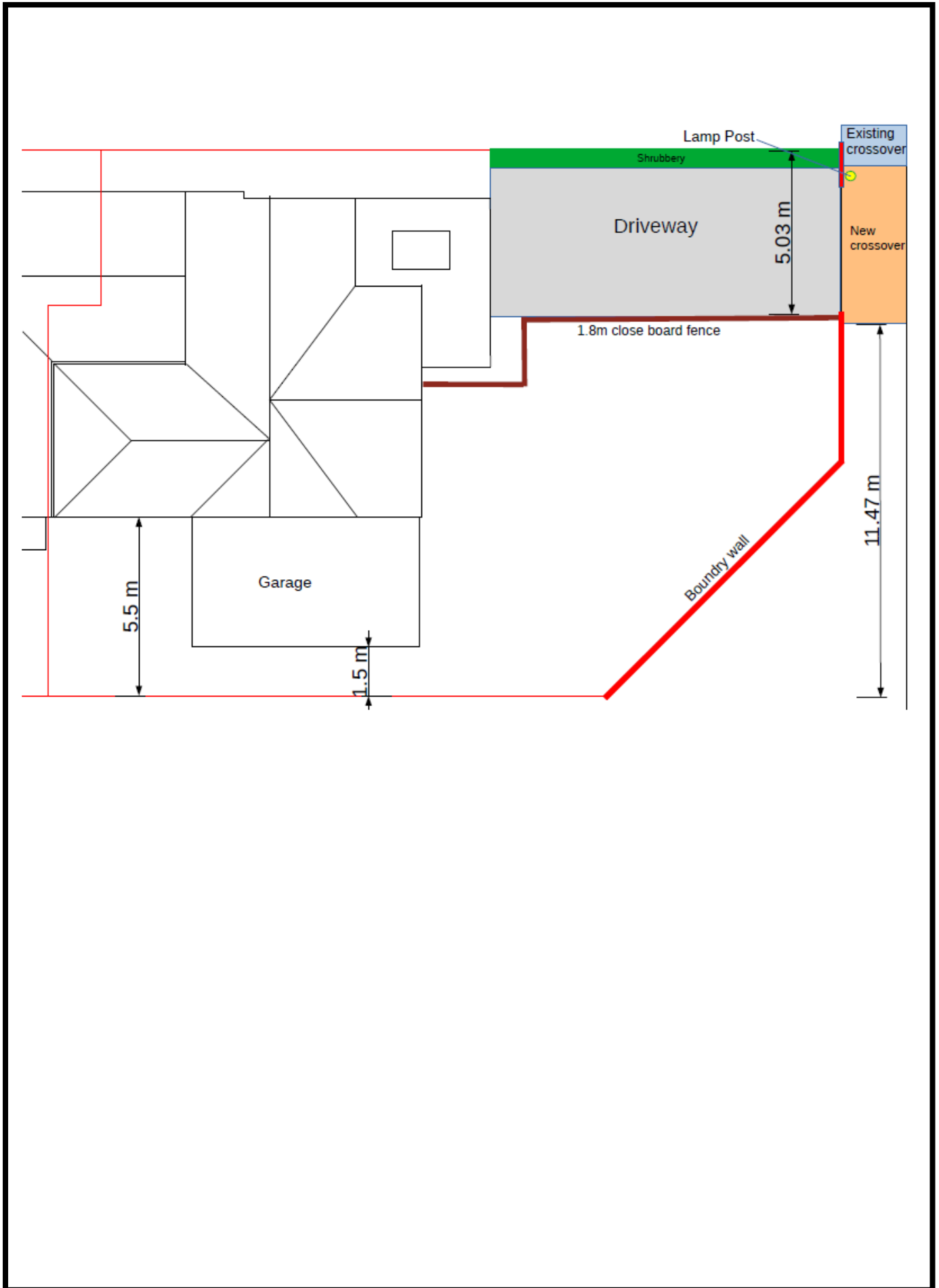


North elevation

West elevation



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- 1.2 To the south of the site is St John Ambulance Headquarters, residential development off Ingledene Close backing onto Fraser Road, and allotments. Further to the west lie Bidbury Infant and Junior Schools which are accessed off Fraser Road.
- 1.3 The rugby ground, which is an artificial pitch with floodlights, lies to the north of the site within the recreation ground.

2 Planning History

- 2.1 APP/15/00832 - Conversion/adaptation/extension & flexible use of rugby clubhouse with use part of ground floor as a children's day nursery, alterations to south, west and north elevations, including projecting first floor balcony and staircase with infill over main entrance: alteration of tarmac surface of adjacent ball court to the west to a 4G artificial playing surface and use of land between clubhouse and ballcourt as enclosed ancillary outdoor space to day nursery. Permitted 02/12/2015.

The 'adjacent ball court' described in the proposal is the MUGA the subject of the current application, and this was proposed to be removed as part of the APP/15/00832 approval and replaced by a 4G artificial playing surface. Of relevance to this case, Condition 3 of the permission required the following:

The use of the children's day nursery shall not commence until details of the design and layout of the artificial grass pitch have been submitted to and approved in writing by the Local Planning Authority, following consultation with Sport England. The artificial grass pitch shall be constructed in accordance with the approved details and within 6 months of the commencement of the use of the children's day nursery, unless approved in writing by the Local Planning Authority.

- 2.2 APP/17/01327 - Redevelopment of grass rugby pitch to provide World Rugby Compliant Third Generation Artificial Grass Pitch, with new floodlighting, storage container and ancillary works. Permitted 31/05/2018 and since implemented.
- 2.3 APP/19/00828 - Variation of Condition 2 relating to elevation and balcony alterations and removal of Condition 3 relating to artificial turf pitch of Planning Permission APP/15/00832. Permitted 25/11/2019.

In raising no objection to the removal of Condition 3 of Planning Permission APP/15/00832, it was recognised by Sport England that the intention was to facilitate the conversion of the existing MUGA to provide additional car parking to support access to and use of the Artificial Grass Pitch the subject of Planning Permission APP/17/01327. On this basis it is considered that any longer term requirement to maintain the area of land the subject of the existing MUGA as an artificial playing surface was removed in planning terms.

3 Proposal

- 3.1 The proposal is for the conversion of an existing MUGA into a car park. A footpath and street lighting are also proposed. The proposal would link into the existing car park to the east and would not involve the creation of a new vehicular access onto Fraser Road. A one-way system for vehicles would operate in the car park, with a new pedestrian access to the south onto Fraser Road, which would link into a footpath. A CIL contribution has been secured for these works.

- 3.2 As to the lighting a CIL contribution has also been awarded for the introduction of street lighting along Fraser Road. The works would be undertaken at the same time as the car park. Following amendments made to the application as a result of the Site Briefing held on 12th January 2021 it is proposed to install 5 No. streetlights on the northern side of Fraser Road from the existing car park to the east, to Bidbury School to the west. An existing lamp column is also set to be replaced on the eastern boundary. The street lighting would conform to Hampshire County Council's adoptable standards.

4 Policy Considerations

National Planning Policy Framework
Havant Borough Council Borough Design Guide SPD December 2011
Havant Borough Council Parking SPD July 2016

Havant Borough Local Plan (Core Strategy) March 2011

CS16	(High Quality Design)
CS8	(Community Safety)
CS11	Protecting and Enhancing the Special Environment and Heritage of Havant Borough
CS1	Health and Wellbeing
DM1	(Recreation and Open Space)
DM2	Protection of Existing Community Facilities and Shops
DM14	(Car and Cycle Parking on Development (excluding residential))

Havant Borough Local Plan (Allocations) July 2014

Havant Borough Submission Local Plan 2036

IN1	(Effective provision of infrastructure)
E2	(Health and wellbeing)
E1*	(High quality design)
E15	(Protected species)
E11	(Sports and recreation)
E14	(The Local Ecological Network)
IN3	(Transport and parking in new development)
E18	(Trees, hedgerows and woodland)
E20	(Drainage infrastructure in new development)

Listed Building Grade: Not applicable.
Conservation Area: Not applicable.

5 Statutory and Non Statutory Consultations

Arboriculturalist

No Objection to Revised Scheme

Only T12 has the potential to be impacted on by the proposed lighting and this is already having work in the area - as such the impact is likely to be minimal and should be undertaken with an agreed AMS and TPP which can be submitted as part of a discharge of conditions.

No Objection to Original Scheme

I must point out that the Council worked with me on this project and as such the proposal is acceptable in arboricultural terms after giving advice on construction and tree protection.

This was done prior to the application and I raise no objection to this application on arboricultural grounds.

Countryside Access Team

Should permission be granted for this application, we request that the applicant is made aware of the following requirements through informatives:

- i. Nothing connected with the development or its future use should have an adverse effect on the right of way, which must remain available for public use at all times.
- i. Any damage caused to the surface of the public Right of Way by construction traffic will be required to be restored to the satisfaction of the Countryside Area Access Manager on the completion of the build.
- i. There must be no surface alterations to a public Right of Way without the consent of Hampshire County Council as Highway Authority. To carry out any such works without this permission would constitute an offence under s131 Highways Act 1980.
- i. No builders or contractor's vehicles, machinery, equipment, materials, spoil or anything associated with the works should be left on or near the footpath so as to obstruct, hinder or provide a hazard to users.

Officer comment: *The rights of way referred to lie outside of the application site. The requested informatives can be included in any permission granted.*

County Ecologist

Final Comment on Revised Scheme – No Objection

It will certainly change the illumination in this area, however, this area is unlikely to represent a key transit route or foraging area for bats. But we have not undertaken surveys to ascertain this and the pollarded tree on the southside of the road has some potential as a bat roost. But I think the advice still stands if the light columns are shrouded to throw most of their light downwards it should not be a problem, and they are probably far enough away from the tree to not have a direct effect on any roosting bats.

Initial Comment – No Objection

The application is not accompanied by any ecological information and I have therefore carried out my own non-exhaustive desk-based assessment using the application documents, online sources and recent GIS mapping. The proposals entail the conversion of an existing MUGA to car parking with the use of artificial lighting. The existing site is unlikely to be of particular ecological value, containing hardstanding,

amenity grassland and planted trees. I am happy that the habitats within the proposed zone of influence are of minimal ecological value.

The new lighting will comprise three new lighting columns and replacement of existing columns. Lighting will be LED and from the submitted lux contour plans I would not consider the predicted illumination to be an issue ecologically given the limited value of this site. No further information is required.

Officer comment: *The light columns would be shrouded.*

Engineering/Drainage

No comment received.

Environment Agency

No comment received.

Environmental Health Manager

Comments on revised scheme - No Objection

I have no adverse comments to make in regard to the proposed changes to the lighting scheme.

If any of the proposed new street lights were to impact in any way on any of the nearby residents and potentially required shielding or shrouding, they would need to discuss such issues with HCC or SSE.

Comments on original scheme

The lighting provisions for the car park appear to be suitable, from the submissions provided. However, upon installation of the proposed lighting it will be the responsibility of the applicant to ensure that there is no nuisance impact on any of the nearby residents in Ingledene Close.

Landscape Team

From a landscape perspective we have the following comments in relation to this application:

- (a) The loss of play provision in favour of a car park is deemed to be contrary to planning policy CS1 Health and Wellbeing which states;
Planning permission will be granted for development which,
1. Retains open spaces, including children's play space, which are valued by local communities unless a superior alternative can be provided.
 2. Improves existing open spaces by incorporating high quality features, accessibility and appearance.
 3. Contributes effectively to the opportunities for increasing cycling for all types of trips.
- (b) We have concerns with construction and subsequent compaction falling within the root protection area (RPA) of existing trees and any damage or loss of trees would be deemed a negative impact on the landscape. Whilst the tree details drawing no. 2019_19/005 indicates hand only on the Type B1 footway between T1 and T2 addresses the impact of the excavation. It is noted that a significant amount of kerbing and edging being installed within the RPA and the linear nature of the kerb line coupled with the excavation depth could have impact on the roots have and assurances need to

be provided to mitigate that issue. Furthermore, we are conscious of the potential compaction of roots due to the change of use and vehicles parking within the RPA of the trees.

(c) Clarity on Boundary details for the proposed car park are unclear, the drawings indicate sections to be removed. We are concerned with the possible tension created by retaining the football goal and basketball net and those being used whilst vehicles are parked. Our preference would be for the fence to be fully removed and replaced with dragon teeth of a knee rail to create a more open vernacular.

(d) Soft landscaping should be used to screen the car park from the recreation ground, this should be in the form of native hedging and small/medium native trees to mitigate any loss of trees and retain the character of the park. This screening should also be present on the western boundary to alleviate the visual prominence of the car park from the school and also reduce the impact of head light glare into the school.

Officer comments:

- (a) *Having regard to the grant of planning permission under APP/17/01327 for redevelopment of grass rugby pitch to provide a World Rugby Compliant Third Generation Artificial Grass Pitch, with new floodlighting, storage container and ancillary works', the proposal is not considered to be a loss of a play provision or contrary to policy, as the provision of the car park would facilitate the maximum use of this enhanced sports facility to the benefit of the community, and forms part of the Havant Playing Pitch Strategy. The car park would be ancillary to the use of the sports/recreation ground.*
- (b) *The Council's Arboricultural Officer worked with the applicant, when the proposal was at the design and application stage and has raised no objection to the development. A condition is recommended as to soft landscaping.*
- (c) *Confirmed existing fencing along the boundary to be retained and football goals and nets to be removed.*
- (d) *The Council's Arboricultural Officer worked with the applicant, when the proposal was at the design and application stage and has raised no objection to the development. A condition is recommended as to soft landscaping.*

Open Space Society

No comment received.

Portsmouth Water Company - No Objection

Portsmouth Water has no adverse comments to make on the development and it is deemed there is a low risk to groundwater quality. The site although located in Source Protection Zone 1c for an essential public water supply source, the underlying impermeable geology (London Clay) offers a depth (10 metres below ground level) of protection to the chalk aquifer. If there are any deep excavation works planned for the site, we would wish to be consulted further.

Officer comment: *Deep excavation work is not proposed.*

Sport England - No Objection

It is understood that the proposal prejudices the use, or leads to the loss of use, of land being used as a playing field or has been used as a playing field in the last five years, as defined in The Town and Country Planning (Development Management Procedure) (England) Order 2015 (Statutory Instrument 2015 No. 595). The consultation with Sport England is therefore a statutory requirement.

Sport England has considered the application in light of the National Planning Policy Framework (in particular Para. 97), and against its own playing fields policy, which states:

'Sport England will oppose the granting of planning permission for any development which would lead to the loss of, or would prejudice the use of:

- *all or any part of a playing field, or*
- *land which has been used as a playing field and remains undeveloped, or*
- *land allocated for use as a playing field*

unless, in the judgement of Sport England, the development as a whole meets with one or more of five specific exceptions.'

Sport England's Playing Fields Policy and Guidance document can be viewed via the following link:

www.sportengland.org/playingfieldspolicy

The Proposal

The proposal is for the conversion of an existing Multi-games play area (MUGA) into a car park, by way of, creating a connection through the existing car park serving the rugby club, and associated footpath and lighting alterations.

Assessment

Sport England send out consultations to the Rugby Football Union, the Lawn Tennis Association and England Netball. Only the RFU have responded.

In their response the RFU have stated:

Havant RFC is a Rugby365 AGP site and a key strategic asset for the RFU. The site is primarily used by the club itself which has one of the highest memberships in the locality (3+ men's teams, 1 women's team, full youth section and full girls section), but is also a hub site for representative rugby, regional competition and coach education. Other users include local schools, colleges and University of Portsmouth, as well as other local clubs during periods of inclement weather. The site has also hosted Portsmouth Dreadnoughts American Football team.

During the planning submission for construction of the Rugby365 AGP parking capacity was highlighted as a potential issue by the planning authority. The club have tried to mitigate this by brokering additional parking arrangements with 2 local schools within walking distance of the site. They also deploy parking marshals to manage the traffic flow at key times.

Local intelligence suggests that the existing MUGA is in a state of disrepair and has no formal use and little (if any) informal use.

The RFU has no objection to this proposal to further improve the quality of experience available to members and visitors to Havant RFC, subject to the impact on other sports using the site.

I can only conclude that if the LTA or EN were concerned that the MUGA could play an important role in the development in their sport, they would have highlighted this in a

response, and given they have not responded, I can only surmise that given the age and state of the MUGA, both these National Governing Bodies have no interest in the MUGA.

Therefore, having assessed the application, Sport England is satisfied that the proposed development meets exception 2 of our playing fields policy, in that:

'The proposed development is for ancillary facilities supporting the principal use of the site as a playing field, and does not affect the quantity or quality of playing pitches or otherwise adversely affect their use.'

Conclusion

This being the case, Sport England does not wish to raise an objection to this application.

The absence of an objection to this application, in the context of the Town and Country Planning Act, cannot be taken as formal support or consent from Sport England or any National Governing Body of Sport to any related funding application, or as may be required by virtue of any pre-existing funding agreement.

Traffic Management, East Hampshire District Council

The Traffic Team would like to see a minimum allocation of 5% of the overall available car park space to be allocated for disabled peoples parking, and a minimum of one motorcycle space per 25 car parking spaces as per HBC Parking Supplementary Planning document July 2016.

Officer comment: *It is confirmed that 3 car parking spaces (i.e. 5%) of the car park space would be allocated for disabled parties, with 1 space for motorcycles in accordance with Havant's Car Parking SPD.*

6 Community Involvement

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent:18

Number of site notices: 1

Statutory advertisement: Not applicable.

Number of representations received: 1

Comment	Officer Comment
Existing facilities for youngsters should have been properly maintained.	Reply set out in Section 7 below.
Car travel to such venues should be discouraged rather than encouraged by additional car parking spaces.	The need for additional car parking has been recognised in the Havant Playing Pitch Strategy to maximise the use of quality sports activities on the recreation

ground.

7 **Planning Considerations**

7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Impact upon the character and appearance of the area
- (iii) Impact upon residential amenity
- (iv) Value of Additional Car Parking and Impact of Loss of the MUGA
- (v) Trees
- (vi) Ecology

(i) Principle of development

7.2 The application site is situated within an urban area where further development is considered acceptable subject to the usual development control criteria.

7.3 Policy DM1 of the adopted Core Strategy seeks to retain and enhance recreation and sports facilities, which is in accordance with the guidance in the National Planning Policy Framework (NPPF).

7.4 The proposal seeks to replace an existing MUGA, with a car park, footpath, alteration to an existing light and provision of lighting along Fraser Road. The proposal would be an extension of an existing car park that serves the Havant Rugby Club to the east. The proposal was revised following the Site Briefing held on 12th January 2021, to ensure street lighting is provided for Fraser Road.

7.5 It is acknowledged that the proposal would result in the loss of an existing MUGA, the size of which is approximately 0.2 hectares. The MUGA, is in a poor condition, the use of which is not listed in the Borough's Playing Pitch Strategy and as such the applicant has advised it is not managed or maintained. Furthermore, the loss of the existing MUGA has already been compensated for by the provision of the relatively new artificial grass pitch to the north, following the grant and implementation of planning permission reference APP/17/01327 for:

"Redevelopment of grass rugby pitch to provide World Rugby Compliant Third Generation Artificial Grass Pitch, with new floodlighting, storage container and ancillary works."

7.6 The installation of this artificial pitch has increased the opportunity for sport and physical activity on the recreation ground, and as detailed in Section 2 (Relevant Planning History) has meant that the retention of the application site for sports and recreation facilities is no longer necessary in planning terms. Instead, to maximise the community's use of the new pitch, it is recognised that an increase in off-street parking is required, which is detailed in the action plan of the Havant Playing Pitch Strategy. The provision of this off-street parking may also address some of the previous concerns raised by residents, about on-street parking and the parking difficulties this creates at times. The additional car parking would be available for the general community.

7.7 Sport England has been consulted and raised no objection to the proposal as:

“The proposed development is for ancillary facilities supporting the principal use of the site as a playing field, and does not affect the quantity or quality of playing pitches or otherwise adversely affect their use.”

- 7.8 The proposal would be an ancillary use to existing recreational and sports facilities, which would help maximise the use of these facilities, which accords with the aims and objectives of policy DM1 of the adopted Core Strategy.

(ii) Impact upon the character and appearance of the area

- 7.9 The proposal would replace an existing artificial surfaced area surrounded by a chain-link fencing, which would remain. This artificial surface would be replaced with a hard-surfaced car park and a footpath that links to the south and north. The extension to the existing car park, with the back drop of the Rugby Club, the schools to the west and built development to the south, would not adversely impact on the character and appearance of the locality. As to potential head light glare into the school to the west, this would be mitigated by soft landscaping along the boundaries of the car park, which is a recommended condition, if permission is forthcoming.

- 7.10 As to additional street lighting on the north side of Fraser Road, this would be an extension of the existing street lighting on Fraser Road to the east. This would not be out of character with the appearance of the area, whilst benefiting the community in safety terms, in accordance with policies CS8 and CS16 of the adopted Core Strategy and the NPPF.

(iii) Impact upon residential amenity

- 7.11 The closest residential properties are to the south of the site, which back onto Fraser Road.
- 7.12 The separation distance from the closest residential property to the car park would be approximately 25m. Due to the separation distance, any noise and disturbance from the use of the car park should not give rise to an unacceptable impact on the amenities of the occupiers of these properties.
- 7.13 As to the introduction of further street lighting along Fraser Road, the Council's Environmental Health Officer has been consulted and has raised no objection. If the lighting is subsequently found to impact on nearby residents, the matter would need to be discussed with HCC or SSE.
- 7.14 The additional lighting would aid visibility and safety in hours of darkness for the public. Proposals that provide community safety, is actively encouraged by policies CS8 and CS16 of the Core Strategy and the NPPF.

(iv) Value of Additional Car Parking and Impact of Loss of the MUGA

- 7.15 When the original scheme was considered by the Site Viewing Working Party on 12th January 2021 the following questions were raised by members. The response from the applicant is set out below in italics.

How will the construction of the proposed car park be funded?

The car park project is fully funded by the Community Infrastructure Levy (CIL) main pot funding (sum of £45,059) as approved by full council 26.02.2020. This followed the

robust CIL decision-making protocol, following workshops to answer Councillor queries in late 2019. The Council have already given permission for the project from a non-planning perspective.

What would be the value of the proposed car park to the wider community?

The car park will service all facilities within the proximity of the car park. This includes Havant Rugby club (HRFC) and the users of the new artificial grass pitch facility, allowing this facility to reach its maximum carrying capacity and enable increased community use. It will also support users of the grass rugby pitches, which are managed by Norse South East on behalf of HBC, and the rugby clubhouse building, which is not only used in connection with rugby but by many community groups and organisations such as Slimming World, a Sewing Club, a Yoga Club and local charities and action groups who use the club as a safe and welcoming place to hold events for people who suffer with depression and dementia. The club offers such groups use of space at significantly reduced costs. The clubroom, bar and catering facilities are also hireable by local residents for private functions, such as birthday parties and wedding receptions.

The car park also supports the educational establishments on site; the Bidbury Infant and Junior schools and the day nursery and pre-school located within the rugby club building. It also services those wishing to access the Hooks Lane public open space and children's play area for recreation and users of the Scout Hut, Havant Men's Shed and the St Johns Ambulance.

The site has become increasingly busy in recent years following the development of the facilities listed above and the growth of the number of residents who access them.

Why is there a need for the car park i.e. is there a big demand and if there has been a study on this, can it be accessed?

The need for the car park is led by the action plan within the Council's adopted playing pitch strategy, linking to the local plan, and highlights the need to improve car parking at the site and meet the demand in current and future sporting facilities. This is supported by reports from users, including HRFC, that the existing car park is not of sufficient capacity to cater for all site users currently, with the problem exacerbated as the club further develop.

The existing Havant Borough Council Car park at Hooks Lane is under severe pressures during peak times at which the local facilities are utilised. This is particularly the case during school drop off and collection times at Bidbury Junior and Infant Schools and the nursery and pre-school on weekday mornings and afternoons and during peak usage times for the rugby pitches at weekends, for junior and senior matches and training.

The current car parking plan for the rugby club requires parking off site and travelling by foot to the ground once the existing car park is full. This provides a barrier for potential participants and impacts the quality of experience for users at this facility.

The additional spaces will also assist in reducing the number of vehicles parked on street along Fraser road, reducing disturbance on residential properties in the vicinity.

I am unaware of any further studies on this.

Are there any restrictions on the use of the existing car park?

The existing car park and the new proposed car park will not be chargeable, as per all car parks located at Havant Borough Council open spaces and parks. The same restrictions apply across all of these car parks, and are minimal, but I understand they include restrictions such as no overnight parking.

What is the value of the artificial grass pitch to the wider community and what sectors of the community is the pitch available to?

The artificial pitch is available for all sectors of the community. The site is managed by the Rugby Football Union (RFU) who have sub-leased the area from HRFC. HRFC hold a Head Lease for the AGP and the clubhouse from Havant Borough Council as Landlord. The RFU manage and administer all bookings and the pitch can be booked by anybody wishing to use it, through their website.

Current users include the HRFC an RFU Accredited club, incorporated and registered as a Community Amateur Sports Club. They provide rugby opportunities for all ages and abilities from under 6 to veterans. In particular, opportunities for female participation has increased from nothing over the age of 12 ten years ago, to nearly 150 players and from one senior ladies' team to fielding 6 female teams, 2 Senior, and U18, U15, U13 and U11 teams.

Organised sport, beyond a recreational kickabout in the park with friends, is delivered by local voluntary sports clubs who are not private members clubs in the traditional sense. They tend to charge membership fees to cover their operational costs (affiliations, facility hire fees, equipment, kits, coaches, insurances etc) and will often waive or reduce these fees based on an individual's circumstances to ensure inclusivity. They are non-profit making, voluntary run organisations, who re-invest any surplus back into the running of that club and are open for anybody to have a go at that sport.

In addition to the rugby club, the pitch is used for educational programmes, by other local community sports clubs, for children's holiday camps and recreational bookings.

What are the range of uses on the artificial grass pitch?

The facility is a full size, world rugby compliant, artificial surface which replaced an existing grass rugby pitch. Its primary purpose is facilitating rugby, providing the highest quality playing surface that can be used during all conditions, resulting in fewer matches and training sessions being cancelled due to poor quality grass/muddy fields. It also encourages wider audiences to take part in rugby by providing high quality, welcoming facilities, in turn improving local physical activity rates.

Given the artificial grass surface type, the pitch dimensions, rugby posts and line markings, the pitch can only be used formally for rugby match play. However, it provides a perfect facility for a variety of sports, physical activity and recreation sessions on an informal basis, such as use by local football and American football clubs for training sessions, fitness training sessions and school holiday sports camp delivery.

Why has the Council abandoned the use of the MUGA and not maintained it?

The MUGA facility has been unfit for purpose, reportedly for up to 20 years, when the tennis nets were first removed.

The surface is uneven, rutted and pitted, with flooding issues and no clear line marking or ancillary facilities such as tennis nets required to enable use for sport.

The repairs required would constitute significant capital expense in order to bring it up to the modern standards required of a multi-use games area and includes substantial resurfacing and drainage works as a minimum.

Such works are beyond the scope of the maintenance programme delivered by Norse South East on behalf of Havant Borough Council. Havant Borough Council has no internal capital budget to complete such works and are reliant on securing external grant funding to complete this type of project. This comes in the form of support from national governing bodies and Sport England. Their funding support is only accessible if they support the development of the facility in line with their strategies and that the project provides substantial physical activity outcomes, linking to local evidence, as provided in the Havant Playing Pitch Strategy. The same evidence is required to secure CIL main pot funding, given the link to the Local Plan.

In this instance, Sport England and the national governing bodies for Tennis (LTA), Netball (England Netball) and Basketball (England Basketball), which can be played on a MUGA confirm that this is not a strategic site for their sports, and as such the facility is not considered as a tennis, netball or basketball facility within the Havant Playing Pitch Strategy. There is no evidence base to support the re-instatement of the MUGA as a sports facility.

Indeed, Sport England and the RFU are in support of the development of the MUGA to car park, given it provides the required ancillary facility to enable the maximum usage of the new sporting facilities on site, which in their view is the best method of increasing physical activity rates within the area.

There is also substantial planning history, in which at the point the nursery was approved to be delivered in place of existing squash courts at the rugby club, a condition of planning was that the MUGA was to be developed into a training facility with artificial surface to mitigate the loss of squash courts as sports facilities. This was prior to the development of the full size artificial rugby pitch project and subsequently this condition was discharged when this AGP project materialised. Additional parking was deemed the priority use of the MUGA in order to support the new facility to reach its maximum potential.

Other nearby facilities are identified in the Havant Playing Pitch Strategy as strategic sites for the development of sport, such as the newly refurbished tennis courts at Bidbury Mead, under the support of the LTA (Lawn Tennis Association), to encourage the maximum level of community use.

- 7.16 To conclude, the Council's adopted playing pitch strategy supports the proposal, as does Sport England and the RFU, and the development is fully funded by the CIL main pot funding. The existing MUGA is not fit for purpose, which reportedly has been the case for at least 20 years, with no funding available to improve it. The additional car parking would be available to the wider community, including all the groups that use the Rugby Club, which includes voluntary organisations and would help maximise the use of quality sports' activities and other events that take place on the recreation ground.
- 7.17 The proposal thereby accords with Policies CS1 and DM1 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

(v) Trees

- 7.18 There are four trees along the eastern and southern boundary. These trees are not the subject of a Tree Preservation Order.
- 7.19 The proposal would involve the removal of a large over-mature *Macrocarpa* on the eastern boundary, which the applicant has advised is of poor form with *Seiridium* canker within its canopy. This loss would be mitigated by a replacement tree on adjacent Council owned land. Branches on the two trees on the southern boundary would be required to be cut back for the installation of one of the street lights. The intention is to hand dig within the root protection area, to provide the footpath.
- 7.20 The Council's Arboricultural Officer was consulted at the design and application stage and following the submission of the revised scheme. Subject to the works being carried out in accordance with the details shown on drawing number 2019_19/005 and an Arboricultural Method Statement and Tree Protection Plan are submitted, approved and then implemented before development commences, the Arboriculturalist raises no objection to the revised proposal. The applicant has agreed to this pre-commencement condition.

(v) Ecology

- 7.21 The Ecologist has been re-consulted over the revised proposal, and has raised no objection to the development. They are of the view that *"...the [previous] advice still stands if the light columns are shrouded to throw most of their light downwards it should not be a problem, and they are probably far enough away from the tree to not have a direct effect on any roosting bats"*. The intention is that the light columns would be shrouded.

8 Conclusion

- 8.1 The proposal would not adversely impact on the character or appearance of the area and would be available for the wider community and help maximise the opportunity of the community to access high quality sports facilities and other events held on the recreation ground. The proposed street lights would be to the benefit of the wider community. There are no arboricultural or ecological objections. The development accords with adopted policy and the National Planning Policy Framework and conditional planning permission is recommended.

9 RECOMMENDATION:

That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/20/01019 subject to the following conditions

- 1 The development must be begun not later than three years beginning with the date of this permission.
Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan (Revised) – Drawing No. 2019 _19/008
Location Plan Lighting - Drawing No. 2019 _19/009
Block Plan - Drawing No. 2019_003
Tree Details - Drawing No. 2019 _19/005
Lighting Details - Drawing No. 2019 _19/006
Drainage Details - Drawing No. 2019 _19/007
General Arrangement - Drawing No. 2019 _19/003
Additional Details - Drawing No. 2019 _19/004
Lighting Layout – Drawing No. SSE298023-LD-001 A
Email dated 8/4/21

Reason: - To ensure provision of a satisfactory development.

- 3 Prior to the use of the development hereby permitted commencing, a detailed soft landscaping scheme for the sites' boundaries shall be submitted to and approved in writing by the Local Planning Authority. Such scheme shall specify the proposed finished ground levels in relation to the existing levels, the distribution and species of ground cover to be planted, the positions, species and planting sizes of the trees (to include a replacement tree for the one removed) and shrubs to be planted and/or retained, and timing provisions for completion of the implementation of all such landscaping works.

The implementation of all such approved landscaping shall be completed in full accordance with such approved timing provisions. Any tree or shrub planted or retained as part of such approved landscaping scheme which dies or is otherwise removed within the first 5 years shall be replaced with another of the same species and size in the same position during the first available planting season.

Reason: To ensure the appearance of the development is satisfactory and having due regard to policies CS11, CS16 and DM8 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 4 Prior to the commencement of the development an Arboricultural Method Statement and Tree Protection Plan shall be submitted to, and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

Concerning the works to the trees these shall be carried out in accordance with the details shown on drawing No. 2019_19/005.

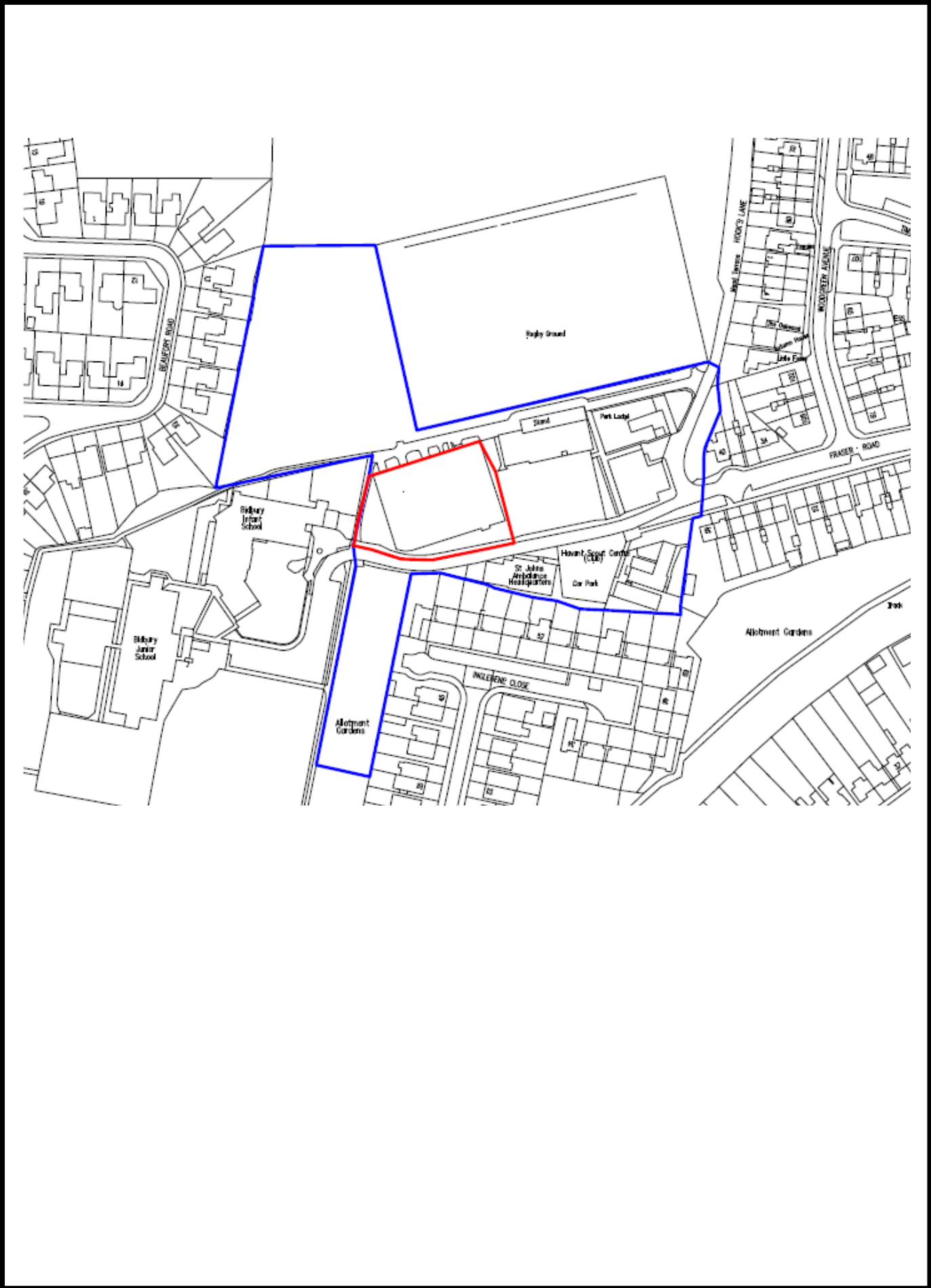
Reason: To ensure the appearance of the development is satisfactory and having due regard to policies CS11 and DM8 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 5 Before the use hereby approved commences, the sports nets and football goals shown on the red and blue land on drawing No. 2019_19/008 shall be permanently removed from north and south boundaries of the site.

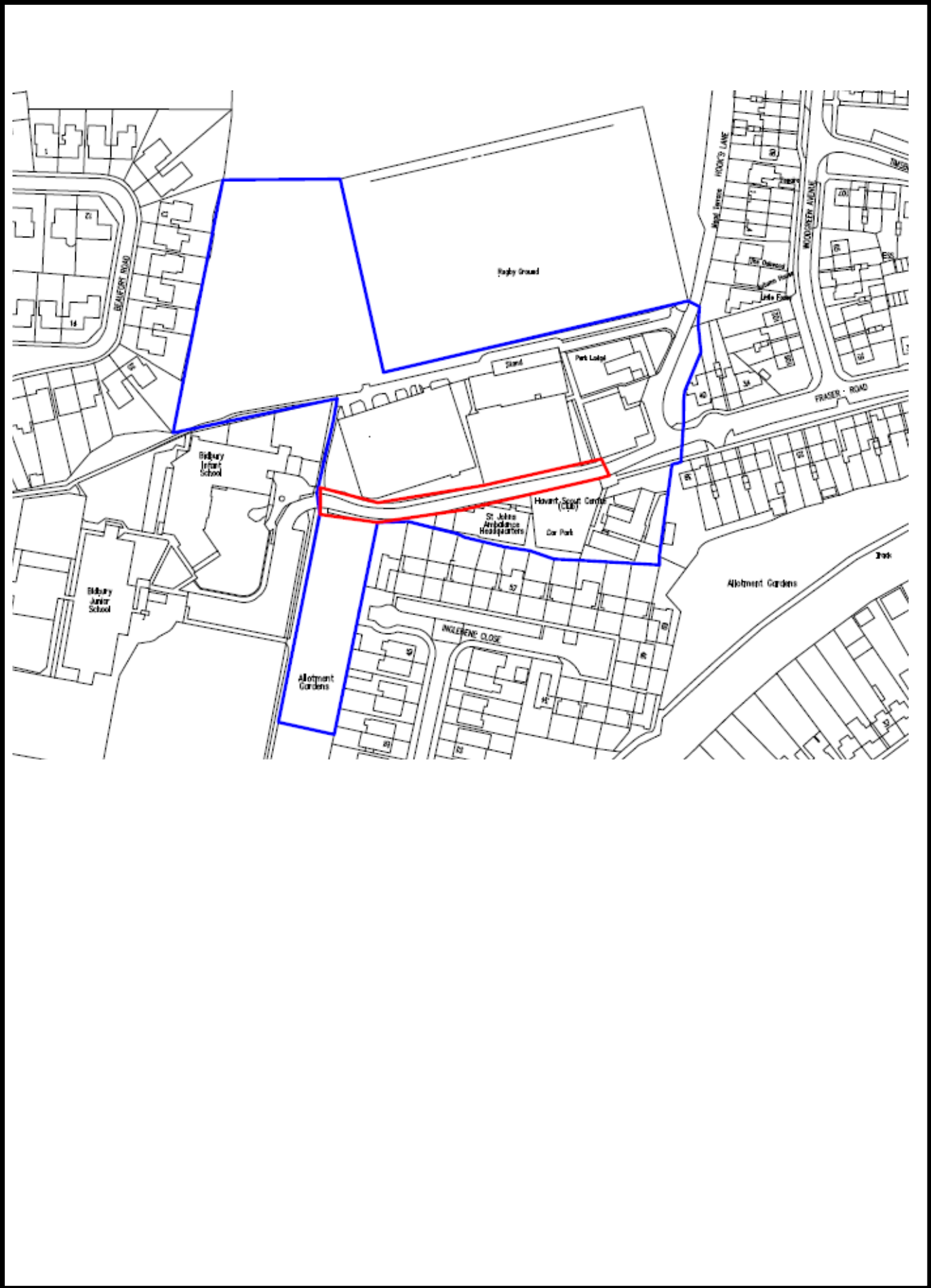
Reason: In the interests of health and wellbeing and to ensure the appearance of the development is satisfactory having due regard to policies CS1, CS8, CS16 and DM1 of the Havant Borough Local Plan (Core Strategy)

Appendices:

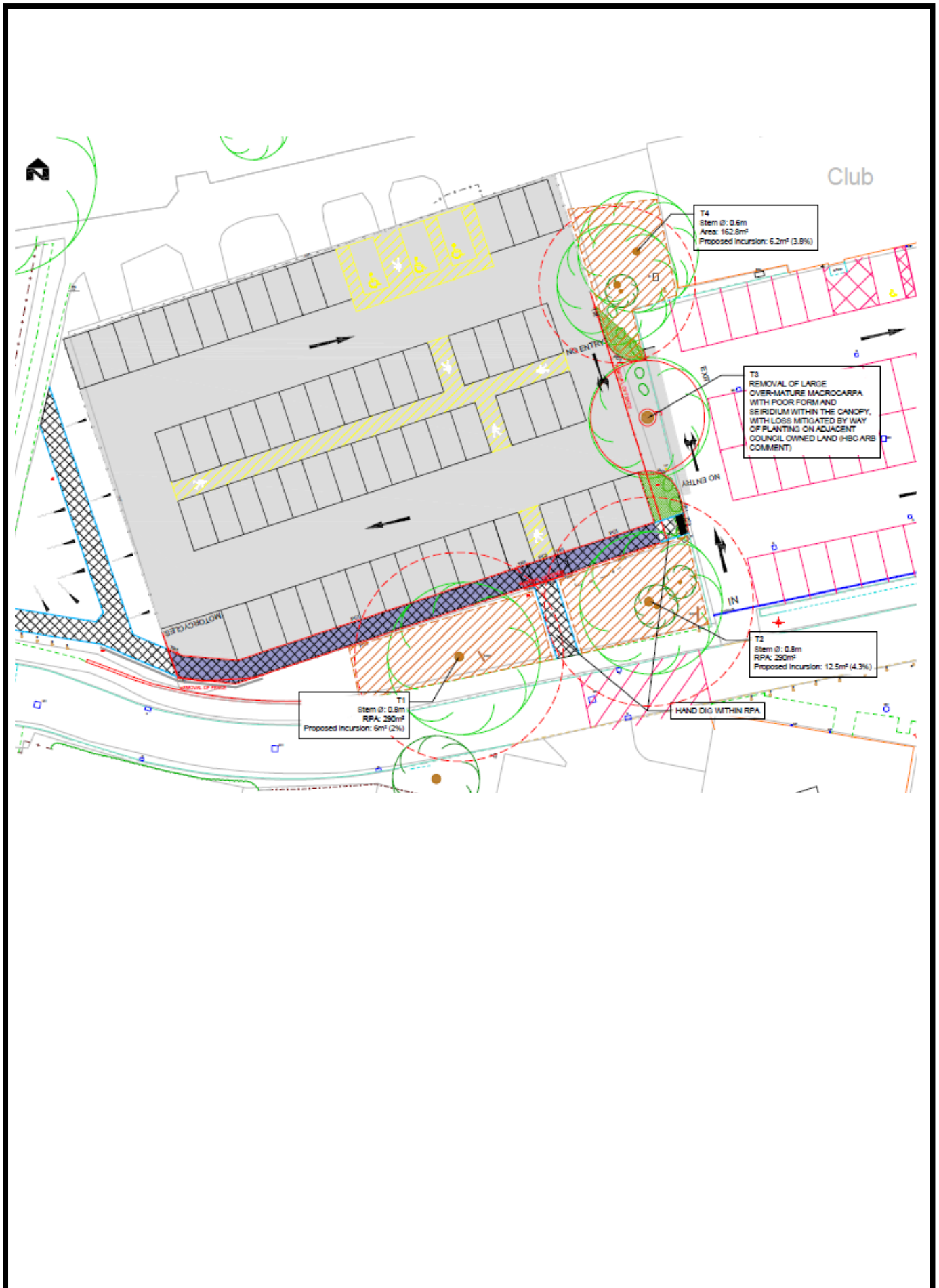
- (A) Location Plan (MUGA)
- (B) Location Plan (Lighting)
- (C) MUGA Car Park Conversion Plan
- (D) Lighting Layout



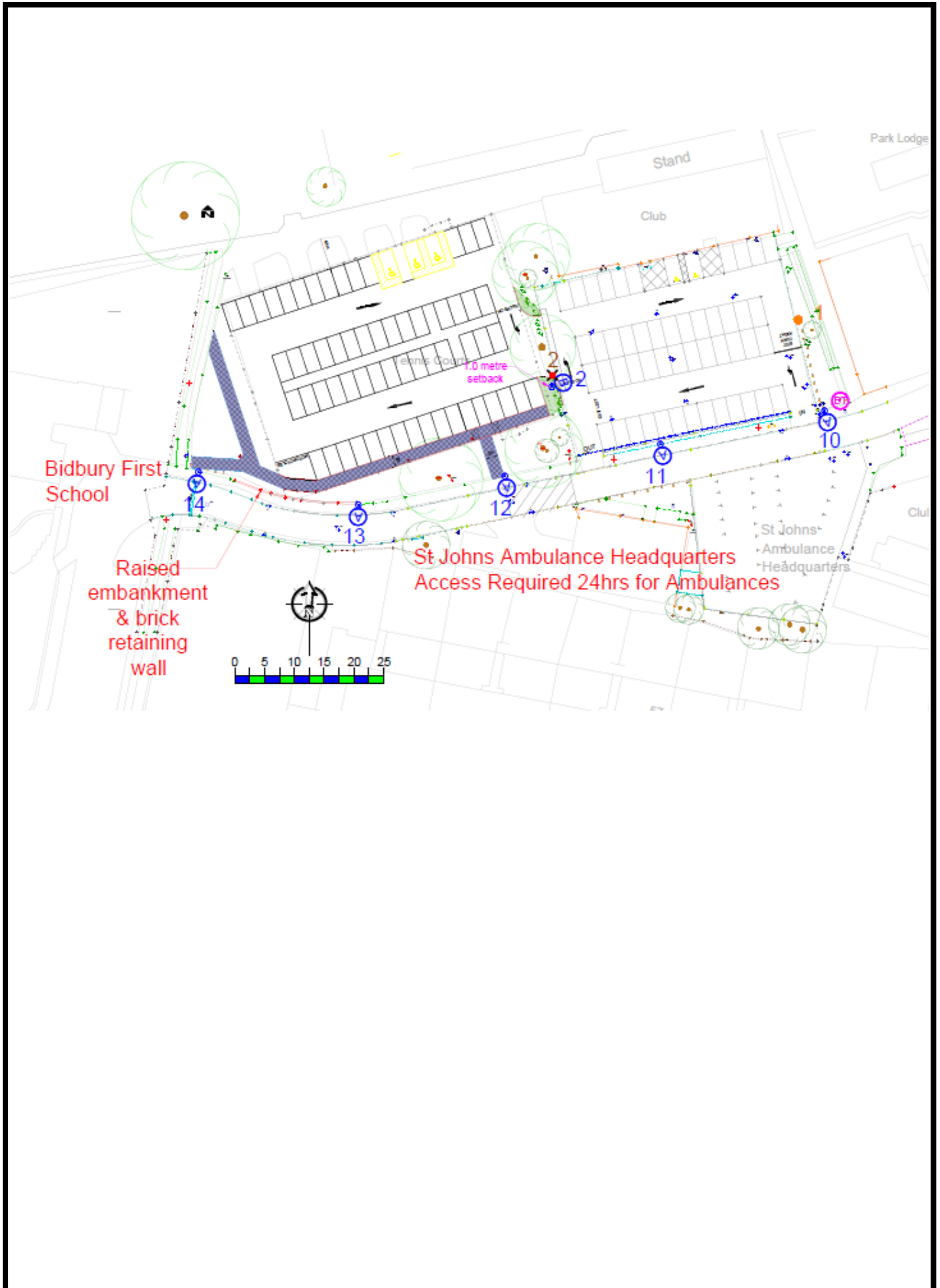
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